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PLAN DATE

July 19, 2018

REVISED December 17, 2019

PLANNED DEVELOPMENT JEFFERSON RIDGE

3818 EAST 10TH STREET, JEFFERSONVILLE, IN 47130



KADEN COMPANIES

SABAK, WILSON & LINGO, Inc.
Engineers, Landscape Architects & Planners



INTRODUCTION

THE CITY OF JEFFERSONVILLE

The City of Jeffersonville, Indiana is just over 34 square miles with a population of approximately 45,000 (US Census 2010). It is home to the Port of Indiana-Jeffersonville, River Ridge, and National Processing Center. With recent major improvements to the local infrastructure, including the Big 4 Pedestrian Bridge, new roadway connections to River Ridge and the construction of the Lewis & Clark Bridge (I-265) and the Lincoln Bridge (I-65), entrepreneurs are taking note and development is booming.

In order to manage the new growth, the City decided that it should update its Comprehensive Plan. The purpose of this plan is to articulate the broader vision and establish guiding principles and policies for future growth and development of an entire community. The 2035 vision for Jeffersonville is as follows:

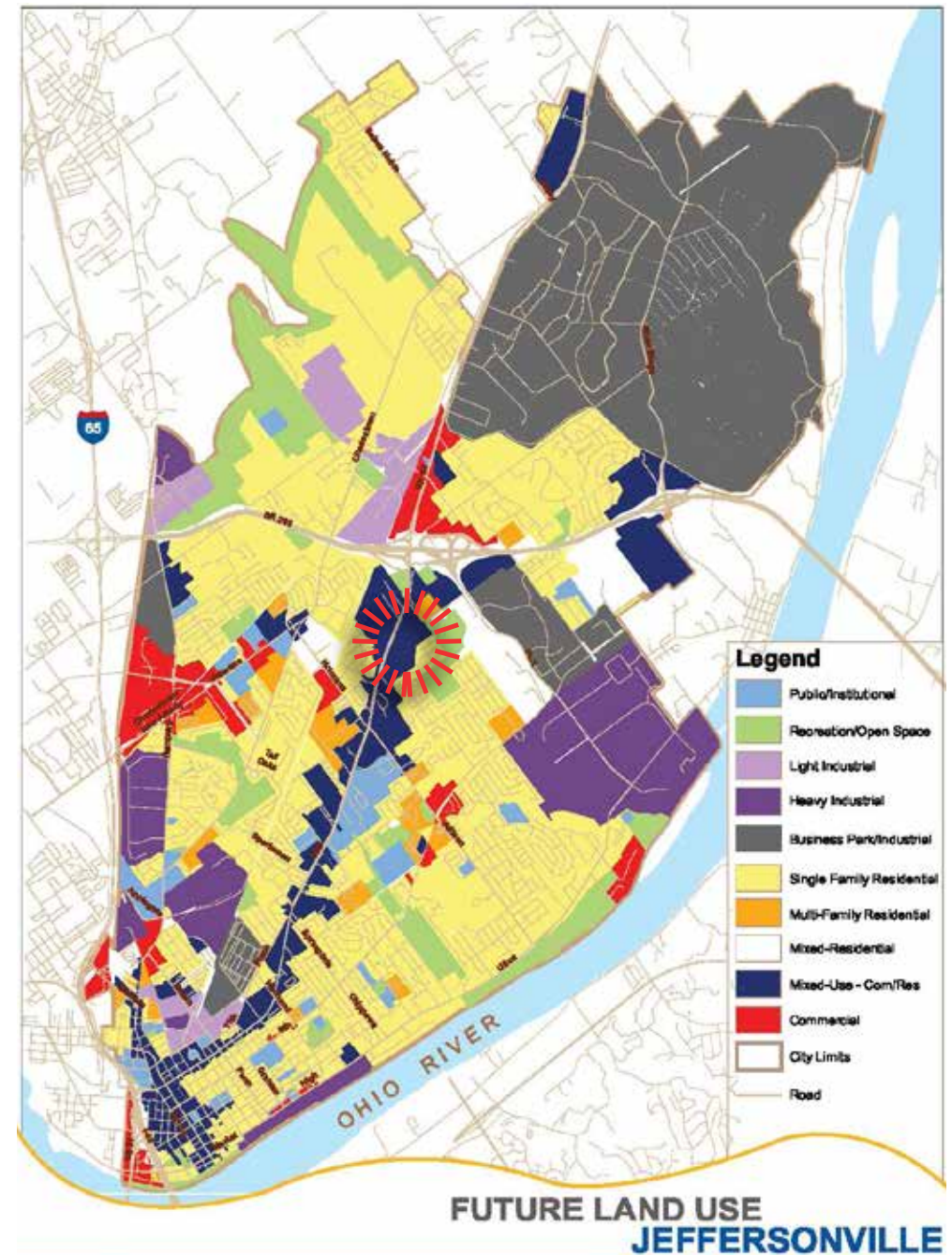
“Building upon Jeffersonville’s position as a gateway to Indiana and a regional location, the city will define itself through vibrant downtown living options, unique historic and arts-focused culture, river town history and strong job base. The quality of life will be continually improved through well connected and planned corridors, shopping and dining options, strong neighborhoods and distinctive public spaces.”

As a Planned Development, Jefferson Ridge will help the City of Jeffersonville advance this vision by providing planned growth that results in distinct and deliberate development; improving connections for multiple modes of transportation and utilities; adding jobs; and capitalizing on the improved access and economic potential of the East End Bridge.

DESCRIPTION OF THE SUBJECT SITE

The subject site is located along 10th Street approximately 1/4 a mile south of the roundabout interchange with I-265. Development in this area is on the fast track. Within less than a mile from the subject site you have three new major developments being proposed including Jeffersonville Commons (directly across 10th Street), Ellingsworth Commons (east of the site), and Bridgepoint Commons (north of the round-about).

The City of Jeffersonville has marked this site for commercial development by including it within the Commercial Corridor Overlay District which was established to promote community character and aesthetics goals and objectives along key corridors. The general intent is to promote commercial development that is compatible with its surrounding areas and to minimize the negative impacts caused by strip commercial development.



JEFFERSON RIDGE



JACKSON HEIGHTS

STEEPLECHASE

BRIDGEPOINT COMMONS

I-265

BROOKHOLLOW

THE MEADOWS

LANDSBERG COVE

THE VILLAGE AT ARMSTRONG FARM

PORT ROAD

STONEBRIDGE APARTMENTS

MAPLEHURST

JEFFERSONVILLE COMMONS

10TH STREET

EMERALD FOREST

JEFFERSON RIDGE

ELLINGSWORTH COMMONS

ROLLING RIDGE

EASTBROOK

STONECREEK VILLAGE

MALLARD RUN

VISSING PARK

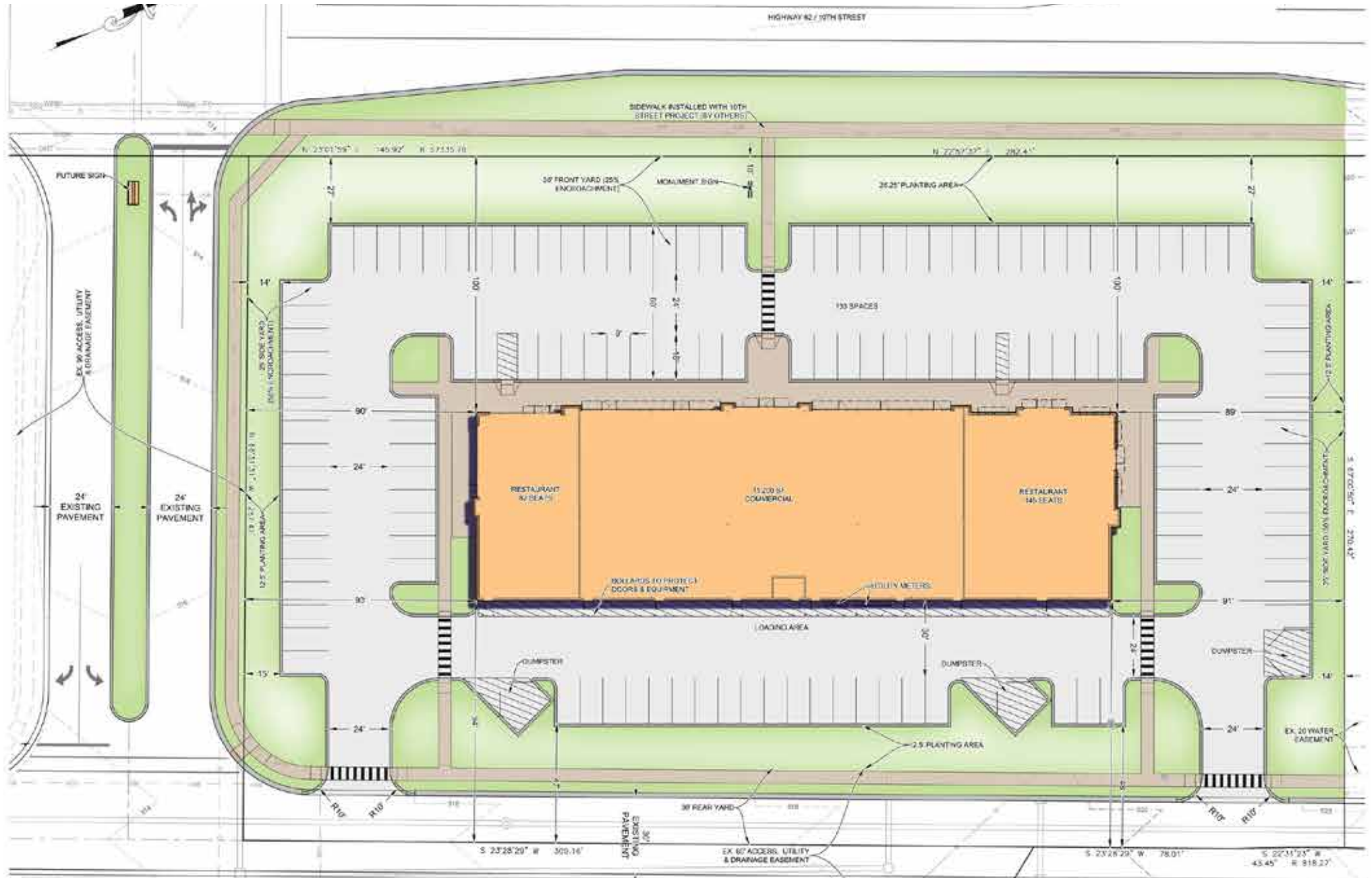
PEBBLE CREEK

EASTGATE

SEILO RIDGE



Access Road & Detention Construction



Outlot 1 Development Plan

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Some construction has already taken place on site, laying out the framework for how the property will be developed. Three boulevard entrances have been constructed to provide access to the site from 10th Street. The northern most entrance is the new connection for Herb Lewis Road. The southern two connections are private roads that will provide access for the property. All three entrances provide access to a new access road for the development. No new access will be permitted onto 10th Street. (Direct access to 10th Street will be allowed for the isolated property that does not have access to the access easement.)

The Jefferson Ridge site has been divided up into 3 planning areas as follows:

Planning Area 1 is the area between the access road and 10th Street. This first tier will be developed as outlots with a mix of office, restaurant and retail. The development plan for the first of these lots was approved by the Planning Commission on November 28, 2017.

Planning Area 2 is the second tier of development. This area is designed to be flexible in order to accommodate a wide variety of uses based on market demand. A larger tenant such as a movie theater or big box store may take up the entire depth of this planning area. Smaller users may result in three tiers of development. Buildings in this area can be taller than the buildings in Planning Area 1 due to the larger setback from 10th Street.

Planning Area 3 is the property reserved for detention, drainage and stream mitigation. No development other than walking trails, and necessary drainage and utility work is allowed. All work in this area shall be reviewed against the approved Stream Mitigation Plan and deed restrictions if applicable.

PROCEDURE

All future development within Jefferson Ridge shall follow the established development review procedures of the City of Jeffersonville Department of Planning and Zoning. In the event that certain standards are not addressed in this document, the C-2 Development Standards of the City of Jeffersonville Zoning Ordinance shall be applicable.

PLANNED DEVELOPMENT VISION

Jefferson Ridge will be a vibrant destination for the rapidly growing population of Jeffersonville to work, shop, eat, and potentially live. The development will be clustered, rather than linear so that infrastructure can be shared. The design of buildings and signage within this activity center will be current and complimentary, but not identical. Proposed land uses will be flexible and based on market demand. This site will draw people, not only from the immediate surrounding community, but also those traveling through on I-265 and 10th Street.

This vision aligns with the Objectives of Jeffersonville's Comprehensive Plan as follows:

LAND USE

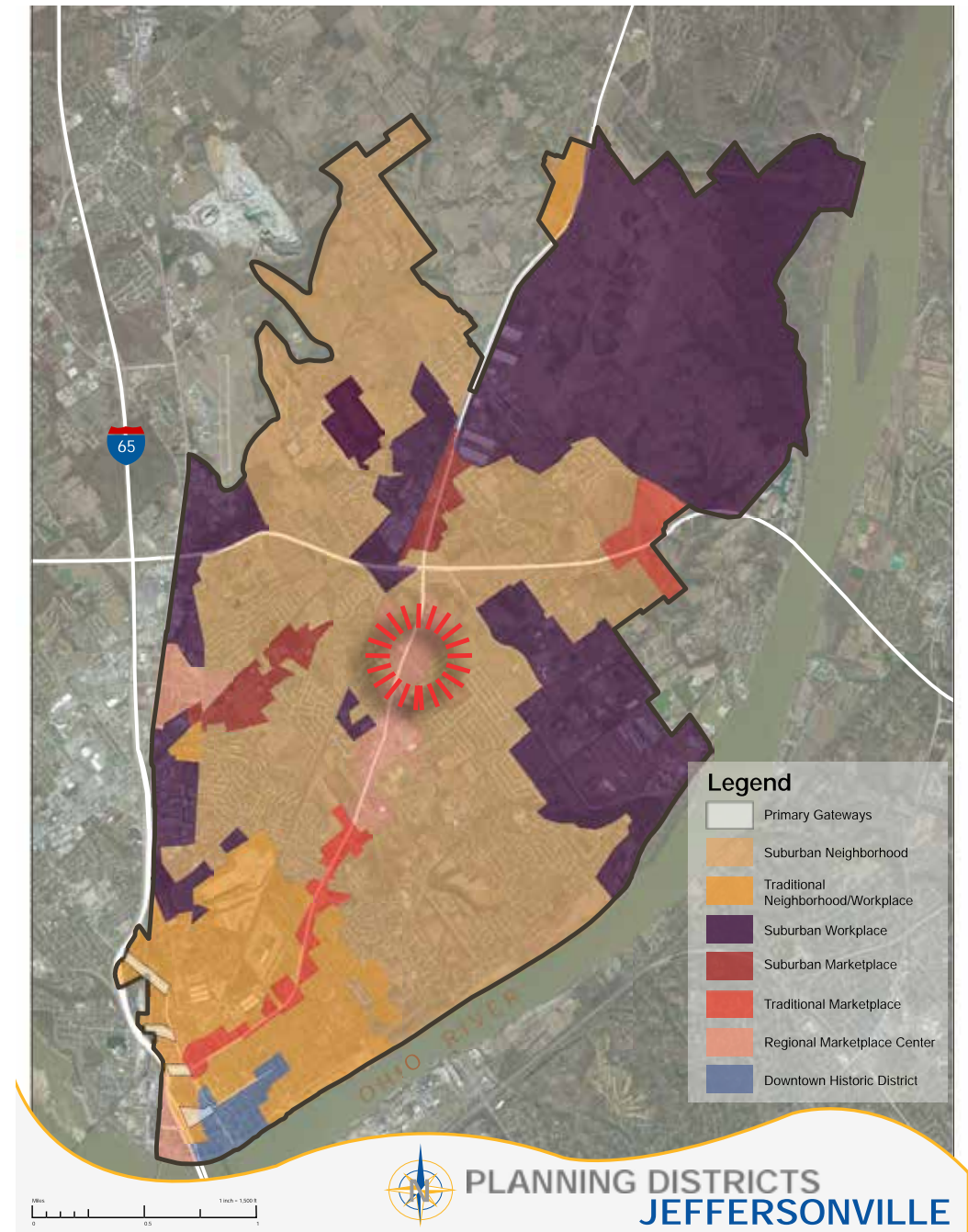
The Comprehensive Plan shows this property as Mixed-Use – Commercial/Residential in the Regional Marketplace Center Planning District (RMC). The RMC Planning District is defined as a centralized mixed-use shopping district or activity center designed to meet regional consumer needs.

In accordance with the RMC goals, Jefferson Ridge is located on 10th Street near the I-265 interchange. It will be open to a variety of land uses including retail, restaurant, office, institutional, hospitality, and potentially even residential if that is what the market demands. The development will be compact, clustered, connected, and compatible with complimentary design and shared access.

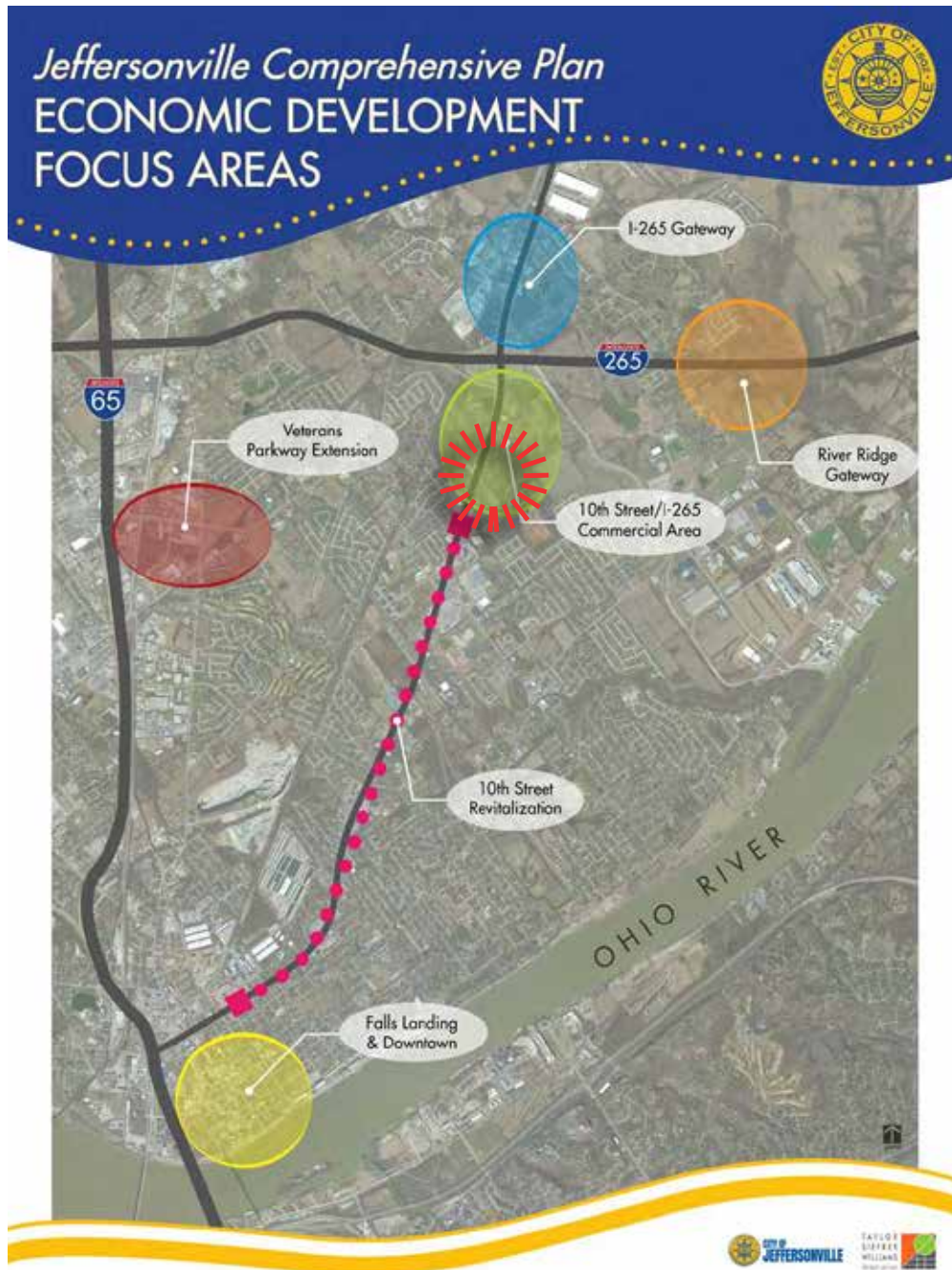
TRANSPORTATION

This site is located on 10th Street which is classified as a Principal Arterial. Vehicular access is provided by the 3 existing boulevard entrances, which include two private drives and the reconstruction of Herb Lewis Road. The location of these entrances and stop lights were carefully coordinated with the City of Jeffersonville and the property owner across 10th Street. No new direct access to 10th Street will be permitted (except that direct access will be allowed for the isolated property that does not have access to the access easement). An internal network of connecting streets will disperse traffic and connect all uses.

Multiple modes of transportation will be available at Jefferson Ridge. There is a TARC route and public sidewalks along 10th Street. Internal (private) sidewalks will provide pedestrian connections between buildings as well as from these buildings to the public walk, TARC stops and surrounding residential neighborhoods where possible.



JEFFERSON RIDGE



COMMUNITY FACILITIES & UTILITIES

This area is well served by community facilities. It is in the Greater Clark school district and is served by the Jeffersonville Police and Fire Departments. There are parks and churches in the immediate area, and the main post office and library are approximately 5 miles away.

All applicable site utilities are available for this site including sanitary sewer, electric, gas, phone and water. A regional detention basin was constructed as a part of the access road construction in 2017 and this basin has been designed to accommodate runoff from a fully developed site.

HOUSING

As indicated in the "City of Jeffersonville Employment Forecasting and Housing Build-out Scenarios" document published in October of 2016, the City of Jeffersonville is looking to adjust the way they look at housing to keep up with the expected demand generated by new development, particularly at River Ridge. Although it is anticipated that Jefferson Ridge will be primarily commercial and office driven, there is potential for multi-family residential or senior housing on site.

ECONOMIC DEVELOPMENT

This site falls within the 10th Street/I-265 Commercial Economic Focus Area in the Comprehensive Plan. This site is particularly attractive for development due to its proximity to the I-265 interchange because it will serve local and regional shoppers. It is also adjacent to the 10th Street Revitalization Area which recommends streetscape improvements such as sidewalks, lights and uniform signage from I-65 to I-265. Not only will this site generate tax revenue for the city, but it will also create jobs and investment opportunities for the community.



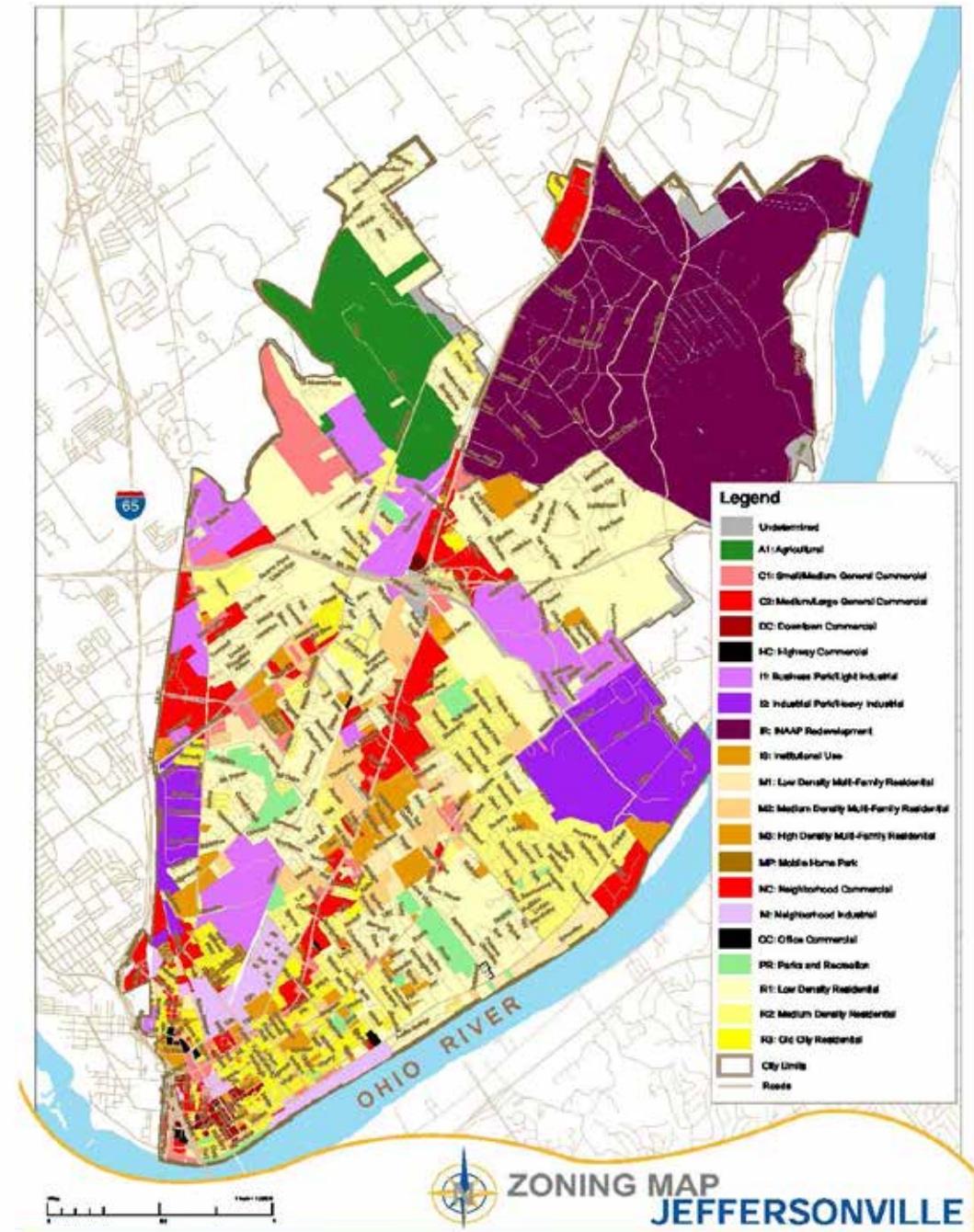
PERMITTED LAND USES

Jefferson Ridge has the potential to support a variety of uses that will benefit the City of Jeffersonville. Uses allowed in the M3, NC, OC, C1 and C2 districts (as delineated in the Zoning Ordinance) are permitted. Special Exception Uses are permitted if found appropriate by the Board of Zoning Adjustment (BZA) in accordance with standard procedures. If a use is listed as a Special Exception in one category but is Permitted in an other, it will be deemed a permitted use for this development.

The table below shall override the Zoning Ordinance for uses that are specifically listed. Uses not specifically listed but substantially similar in nature to permitted uses are not prohibited, but should be reviewed by Planning and Zoning staff on a case-by-case basis.

KEY: P = Permitted Use
S = Special Exception Use
X = Prohibited Use

	PLANNING AREA 1	PLANNING AREA 2	PLANNING AREA 3
RESIDENTIAL			
M3 Permitted Uses	P	P	X
NC Permitted Uses	P	P	X
OC Permitted Uses	P	P	X
C1 Permitted Uses	P	P	X
C2 Permitted Uses	P	P	X
Adult Entertainment Uses	X	X	X
Detention/Utilities/Trails	P	P	P
Drug & Alcohol Rehab	X	X	X
Outdoor Sales & Storage	X	S	X



DEVELOPMENT STANDARDS

The following design guidelines are intended to promote high-quality, compatible development that will be an asset to the City of Jeffersonville. These guidelines are not intended to limit creativity or innovative design, but to guide design in a way that creates an identity for Jefferson Ridge and the community. Deviations from these standards may be approved by the Planning Commission or their designee.

	PLANNING AREA 1	PLANNING AREA 2	PLANNING AREA 3
GENERAL DEVELOPMENT STANDARDS			
Minimum Lot Area	0.5 ACS	0.5 ACS	NA
Minimum Lot Width	80 FT	80 FT	NA
Maximum Lot Depth	NA	NA	NA
Minimum Lot Frontage	80 FT	80 FT	NA
Maximum Lot Coverage	80% of total PD area ¹		
Minimum Main Floor Area	1,000 SF	1,000 SF	NA
Maximum Structure Height	35 FT	80 FT	NA
BUILDING SETBACK STANDARDS ²			
Minimum Front / Street Side Yard ³			
- From 10th Street	35 FT	35 FT	NA
- From Herb Lewis Road	25 FT	25 FT	NA
- From Internal Access Easement	10 FT	10 FT	NA
Minimum Side Yard			
- From Single-Family Residential	25 FT	25 FT	NA
- From External Commercial / M.F. Res.	20 FT	20 FT	NA
- From Internal Commercial / M.F. Res.	5 FT	5 FT	NA
- Shared Wall Construction	0 FT	0 FT	NA
Minimum Rear Yard			
- From Single-Family Residential	25 FT	25 FT	NA
- From External Commercial / M.F. Res.	20 FT	20 FT	NA
- From Internal Commercial / M.F. Res.	5 FT	5 FT	NA

	PLANNING AREA 1	PLANNING AREA 2	PLANNING AREA 3
Maximum Front / Street Side Yard			
- From 10th Street	100 FT	NA	NA
- All other Front Yards	NA	NA	NA
PARKING SETBACK STANDARDS ²			
Minimum Front / Street Side Yard ³			
- From 10th Street	25 FT	25 FT	NA
- From Herb Lewis Road	10 FT	10 FT	NA
- From Internal Access Easement	10 FT	10 FT	NA
Minimum Side Yard			
- From Single-Family Residential	25 FT	25 FT	NA
- From External Commercial / M.F. Res.	20 FT	20 FT	NA
- From Internal Commercial / M.F. Res.	10 FT	10 FT	NA
- Separating Shared Parking	0 FT	0 FT	NA
Minimum Rear Yard			
- From Single-Family Residential	25 FT	25 FT	NA
- From External Commercial / M.F. Res.	20 FT	20 FT	NA
- From Internal Commercial / M.F. Res.	10 FT	10 FT	NA
- Separating Shared Parking	0 FT	0 FT	NA

¹ Maximum Lot Coverage is for combined area of all primary and accessory structures and impervious surfaces, and is not calculated individually for each lot, but for the entire PD project.

² Setbacks shall be measured from the Property Line and the Primary Access Easements within this development.

³ Front and street side yards apply to public roads and internal primary private access easements. Most lots in Planning Area 1 have no rear yard.

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There is no maximum for parking allowed in front of the building except that no more than 1 double sided bay of parking may be permitted between the building and 10th Street within Planning Area I. Parking lots may encroach into building setbacks per the table on Page 9. Parking areas shall be constructed of a durable material such as concrete or asphalt. Where appropriate, grass pavers or porous pavers/pavements may be used but are not required.

Loading areas and dumpsters shall be screened from roads, access easements, and adjacent properties in accordance with Zoning Ordinance MS-07. No loading areas or dumpsters are permitted in front of the primary structure. (This does not prohibit package/mail deliveries or customer pick-up in front of a business.)



Typical Pavement Examples

PEDESTRIAN ACCESSIBILITY

Convenient pedestrian connections shall be made throughout the development in order to encourage people to walk to their destination. Sidewalks shall meet the requirements of the Jeffersonville Zoning Ordinance unless otherwise specified in this document. The Planning Director shall have the authority to waive a connection where special circumstances exist. Specific sidewalk requirements are as follows:

- Sidewalks shall be provided along all public streets and primary access easements.
- Each lot in Planning Area 1 shall have a connection to the public street and a connection to the primary access easement.
- Each lot in Planning Area 2 shall have a connection to the primary access easement.
- Sidewalks shall connect all uses within the development.
- Pedestrian connections shall be made to adjacent residential neighborhoods where possible.
- At such time as a trail system is developed in the immediate vicinity, the owner will work with the City of Jeffersonville to provide trails that connect to the sidewalk network on site.



Typical Sidewalk Examples

LIGHTING STANDARDS

Site lighting fixtures shall be identical throughout the development unless otherwise approved by the Planning Director. All lights shall be shielded and directed downward in accordance with the Lighting Standards in the Jeffersonville Zoning Ordinance except that lighting meant to illuminate site signage may be ground mounted and directed toward the signage it is meant to highlight. The maximum mounting height for site lighting is 20'. Property line footcandle limits only apply to exterior property lines for the Planned Development.



Typical Lighting Examples

SIGN STANDARDS

No sign shall be constructed, enlarged, moved or changed without first obtaining a sign permit from the City of Jeffersonville. No permit shall be issued unless the proposed sign conforms with the standards of this Section. Changes to or deviations from these regulations must be approved by the Planning Commission or their designee.

There are no 'total sign area per lot' regulations for this development. Instead, signage shall conform to the following standards:

Ground Signs – Each 1 or 2 tenant lot will be permitted a single two-sided ground sign not exceeding 10' in height and 10' in width (including base and columns).

Each lot with 3 or more tenants will be permitted a single two-sided ground sign not exceeding 10' in height and 12' in width (including base and columns).

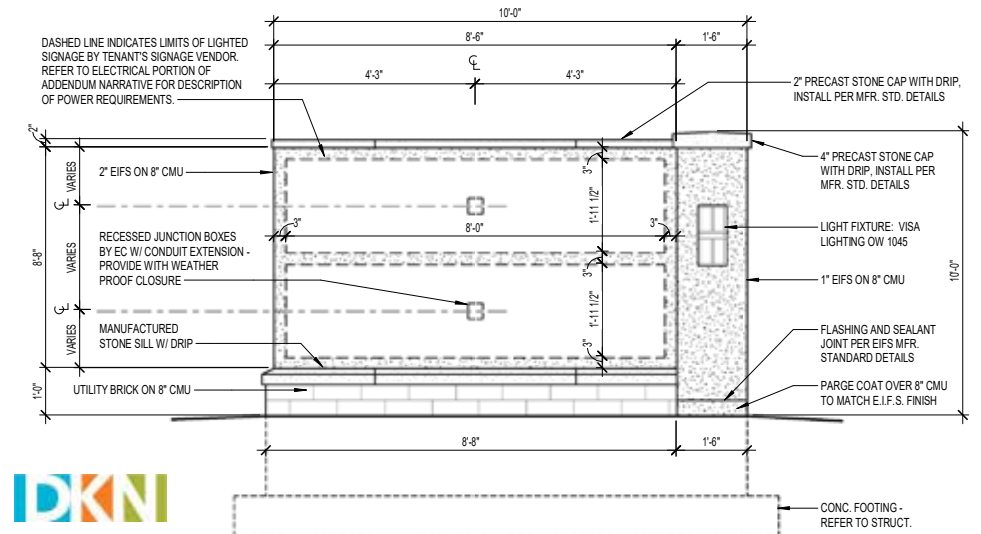
These signs must be set back at least 5' from the right-of-way for 10th Street and Herb Lewis Road.

Signature Entrance Signs – A single two-sided signature entrance sign, not exceeding 20' in height and 14' in width (including base and columns), shall be permitted at one of the three boulevard entrances. The other two boulevard entrances may have a similar sign that does not exceed 10' in height and 8' in width (including base and columns).

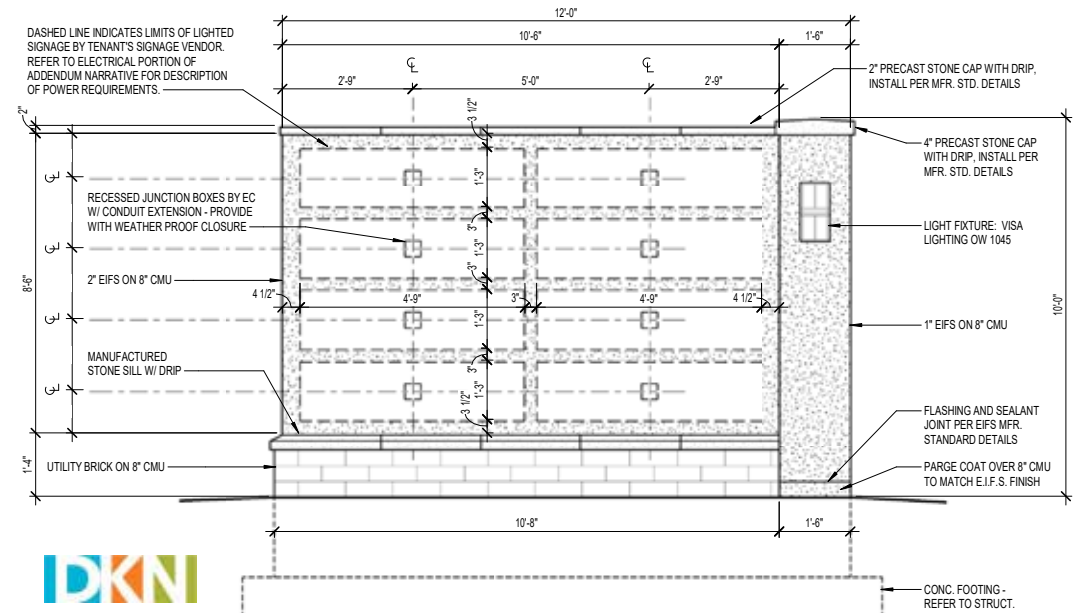
These signs shall identify the development as Jefferson Ridge and may include sign panels for the tenants in Planning Area 2. These tenants do not have to be on the same property as the sign. These signs are exempt from the signage setback requirements but must not block the view for vehicles entering and exiting the site. These signs will be in addition to the permitted ground signs indicated above.

Building Signage – Building signage shall be permitted on all facades of all buildings within Jefferson Ridge and may include Projecting and Wall signage. Single tenant buildings will be permitted up to 1 sign per building façade. In cases where the primary user also includes accessory uses (i.e. a grocery with a pharmacy and care clinic) 1 additional sign shall be allowed per accessory use.

Each tenant in a multi-tenant building is permitted one sign per side for which they have frontage. For instance, on Outlot 1 (see Outlot 1 Building Signage Diagram on page 13), the tenants in the end-cap would be able to have 3 signs because they have frontage on the front, side and back

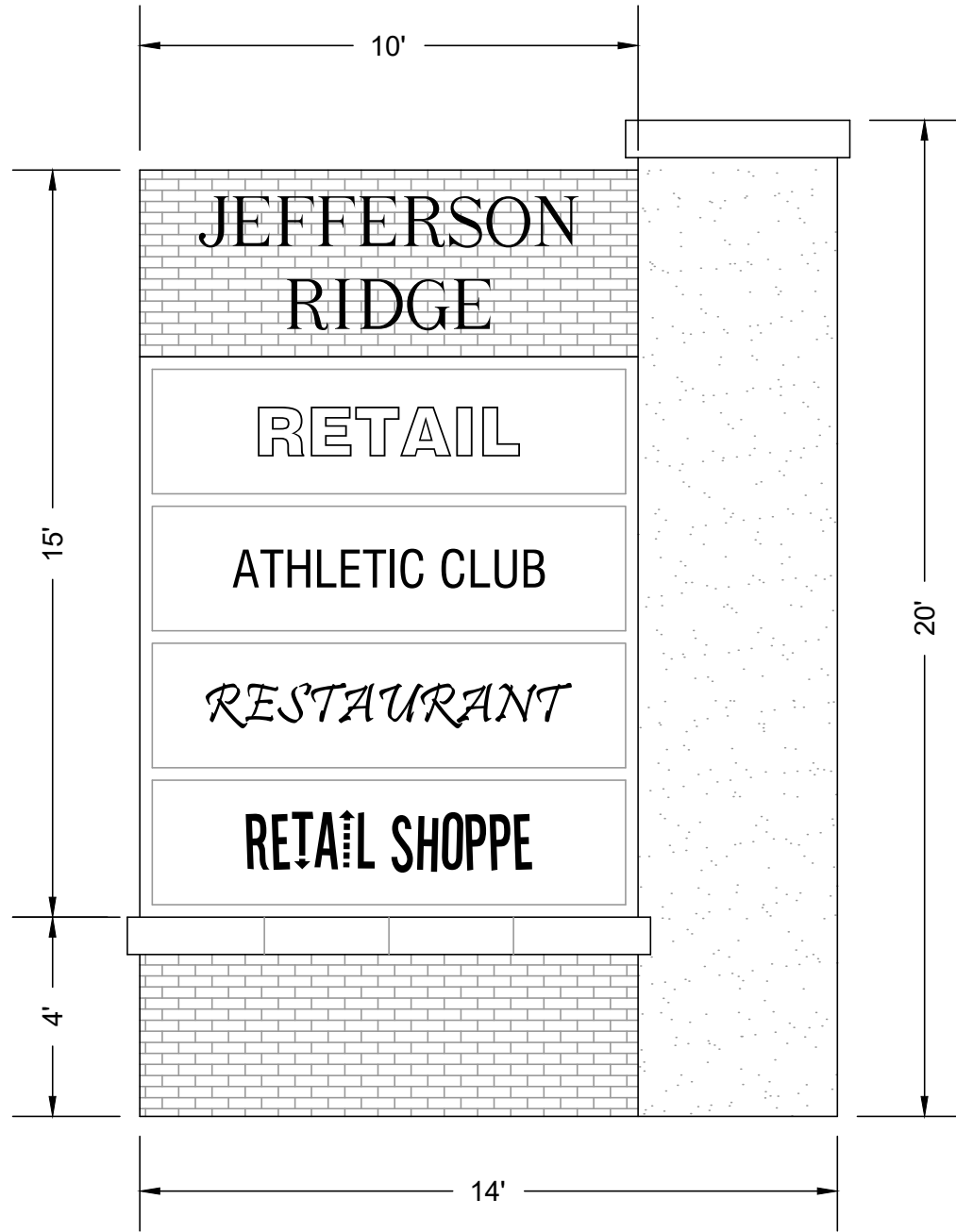


Concept 1 or 2 Tenant Ground Sign



Concept 3 or More Tenant Ground Sign

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Concept Signature Entrance Sign

of the building. Tenants for the retail in the center would be allowed two signs because they only have frontage on the front and the back of the building.

The total area encompassed by all Wall or Projecting signs on any one façade of a building shall not exceed the limits established below:

Planning Area 1: Front Façade = 1.25 x length of the front façade
Side Façade = 1.00 x length of the side façade
Rear Façade = 0.25 x length of the rear façade

Planning Area 2: Front Façade = 1.25 x length of the front façade
Side Façade = 0.25 x length of the side façade
Rear Façade = 0.25 x length of the rear façade
Any Façade Facing External Residential = no signage

No sign shall exceed 200 SF. The front facade is defined as either the facade facing 10th Street or the facade with the main entrance. For buildings with multiple façade planes, the area of all parallel planes shall be included in the calculation. First floor window signs are excluded from the number of signs permitted on any one façade of a building.

Signage not specifically addressed in these standards will be permitted in accordance with the Zoning Ordinance. All signs prohibited by the City of Jeffersonville Zoning Ordinance shall also be prohibited on this site unless otherwise noted within this Section.



Outlot 1 Building Signage Diagram

LANDSCAPE STANDARDS

Landscaping is an essential part of the design and development of a site. Landscape plantings are a benefit to the environment, public health, air quality, safety, comfort, convenience and general welfare of the community. These standards will result in the reduction of storm water runoff, glare, and heat buildup. They may reduce energy costs in structures and will improve the aesthetics of the community. The following minimum planting requirements apply:

- Deciduous Trees – 1/1000 SF of building footprint + 1/4000 SF of floor area above level 1
- Evergreen Trees – 1/2000 SF of building footprint + 1/8000 SF of floor area above level 1
- Ornamental Trees – 1/1000 SF of building footprint + 1/4000 SF of floor area above level 1

Note: Buffer and parking lot plantings may be counted toward the requirements above.

Landscape buffers may overlap building & parking setbacks, but buildings and parking may not encroach into the landscape buffer. Landscape buffers shall be provided as follows:

- From 10th Street – 25' buffer with 1 tree/25 LF & a 36" screen for 70% of frontage
- From Herb Lewis Road – 10' buffer with 1 tree/25 LF & a 36" screen for 70% of frontage
- From Access Easement – 10' buffer with 1 tree/25 LF & a 36" screen for 70% of frontage
- From Single Family Residential – 25' buffer with 3 trees/20 LF (min. 1/3 evergreen)
- From external Commercial/M.F. Residential – 20' buffer with 3 trees/20 LF
- From internal Commercial/M.F. Residential (no shared parking) – 10' buffer with 1 tree/25 LF & a 36" screen for 70% of frontage
- From Commercial/M.F. Residential (with shared parking) – No buffer required

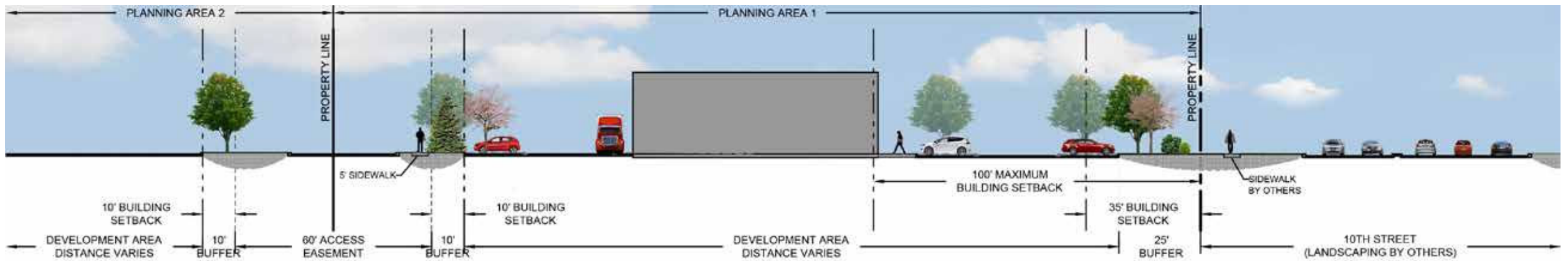
Screens shall consist of a wall, fence, or landscaping. Evergreen trees may count toward both the screening and tree planting requirements. No berm shall be required anywhere in the development. Berms are not prohibited, but should be used only where special circumstances exist that cannot be mitigated by another acceptable means.

Note: Required buffers for single-family residential adjacent to Planning Area 3 shall be provided at the back of Planning Area 2 to eliminate disturbance to the detention basin and ACOE Permit area. There are no specific landscape requirements for Planning Area 3 since no development will take place on this portion of the site. Approximately 294 trees and 125 shrubs have already been planted in this area as a part of the Army Corps of Engineers permit related to stream restoration operations.

Where planting space is available directly adjacent to a building perimeter, shrubs are encouraged along the foundation of that building.

Landscape Islands shall be provided every 30 parking spaces and must be a minimum of 300 SF in area. Each landscape island shall contain 1 tree that will exceed 30' when mature. Where a landscape island must contain a sidewalk, fire hydrant, transformer, sign or other similar obstruction, the tree requirement may be waived upon approval by Planning and Zoning staff.

A 20% reduction in the number of required trees and shrubs may be granted if 80% or more of the trees and shrubs planted are native species as defined in the Zoning Ordinance or another reputable source. Trees planted within 50' of a waterway or riparian zone shall receive double credit.



Typical Section - Planning Area 1

If a lot in this development is unable to meet all tree planting requirements on their property, excess trees should be planted along common access easements, within exterior buffer areas and within Planning Area 3 upon approval by Planning and Zoning staff. The developer may also take advantage of the Fee-in-Lieu alternative provided by the City of Jeffersonville.

Under no circumstances may the species identified in Schedule 1 – Pest Plants in the Zoning Ordinance be planted or counted as a part of the required plantings on this site. Variety in planting is encouraged. Refer to the following documents or another reputable source for recommended plants:

DNR Indiana Community Tree Selection Guide

(<http://www.in.gov/dnr/forestry/files/fo-IndianaCommunityTreeSelectionGuide.pdf>)

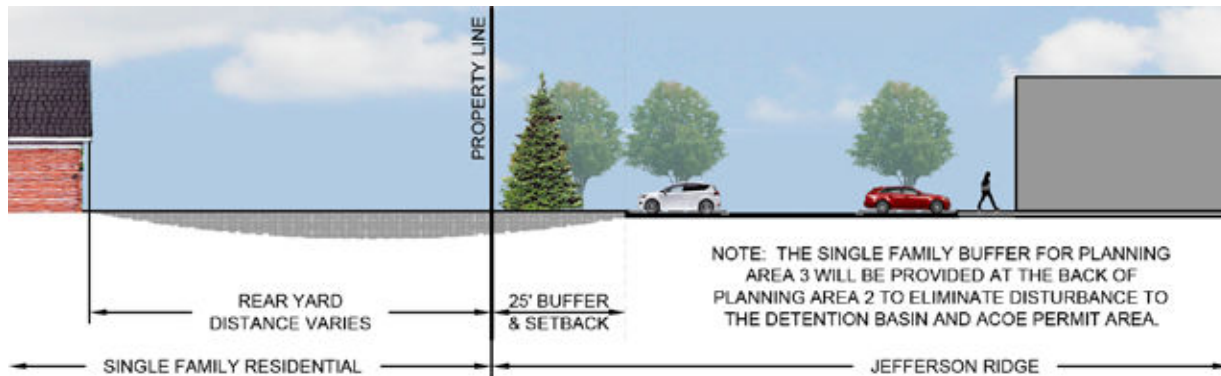
30 Recommended Trees for Louisville

(<http://www.louisvillegrows.org/wp-content/uploads/2016/11/30RecommendedTreesforLouisville.pdf>)

Louisville Division of Community Forestry Master Tree List

(https://louisvilleky.gov/sites/default/files/community_forestry/community_forestry_files/dcf_master_tree_list.pdf)

Please note, although Ash trees are listed in some of these resources, they are prohibited until such time as a variety resistant to the Emerald Ash Borer is developed. Callery & Bradford Pears are also prohibited.



Typical Section - Adjacent to Single Family Residential

APPENDIX 1

CONCEPT MASTER PLAN

This is the latest master plan for Jefferson Ridge. This concept includes a mixture of retail, office, hospitality and restaurant uses. It illustrates the tiered development concept which will result in efficient use of infrastructure and the ability to share parking among all uses. This plan is meant simply as an example to show how the site could be developed. Ultimately, the layout will be determined by market demand.



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APPENDIX 2

SIGN PLAN

This is a conceptual sign plan based on the latest concept plan for Jefferson Ridge. It shows the three signature entrance signs at the boulevard entrances, as well as site signs for most lots. This plan is meant simply as an example to show how site signage may look. Ultimately the layout of the development will be determined by market demand and signage will be permitted in accordance with the signage guidelines in this booklet.

LEGEND

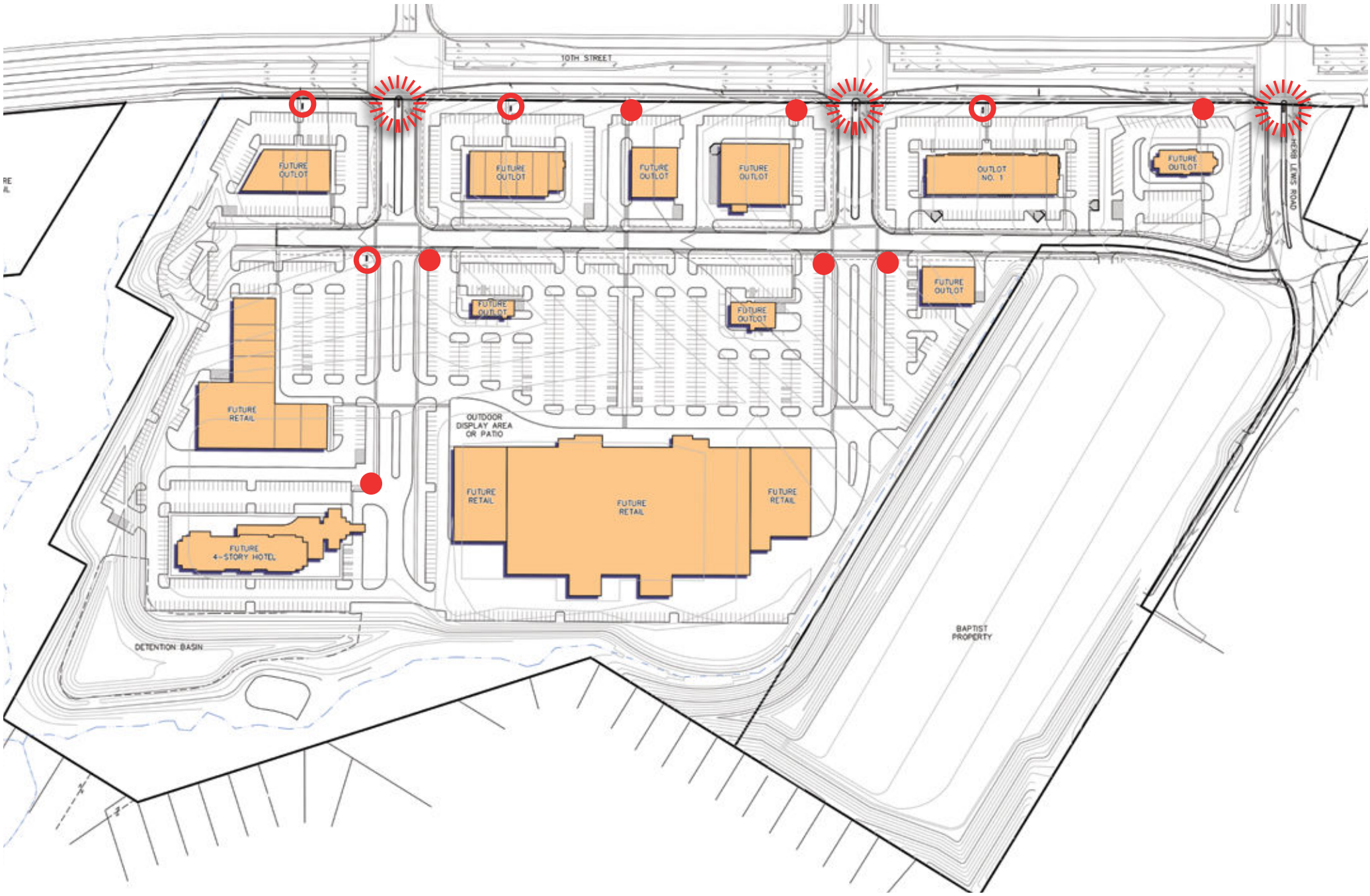
Signature Entrance Sign

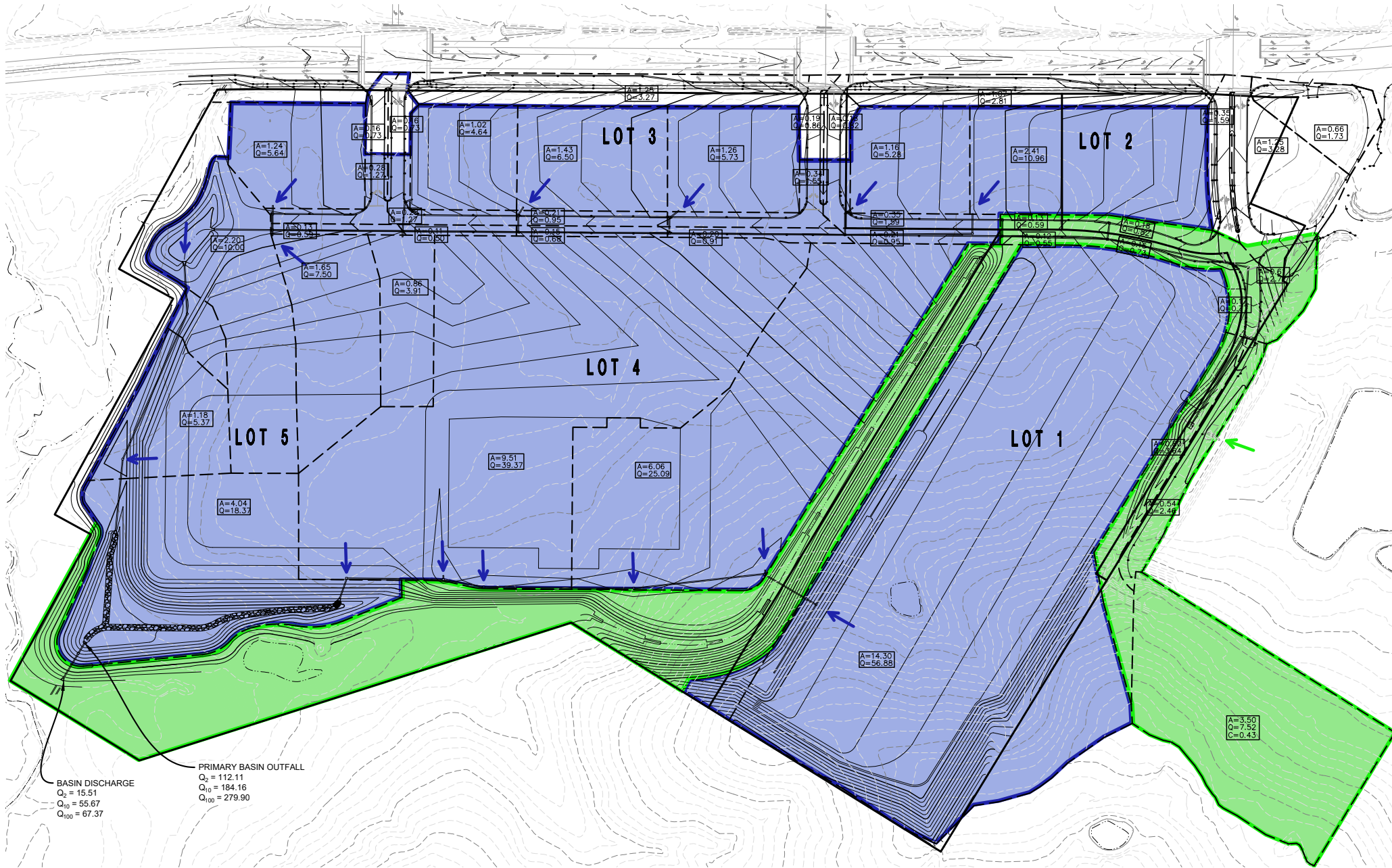


1 or 2 Tenant Ground Sign



3 or More Tenant Ground Sign





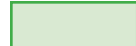
APPENDIX 3


DRAINAGE PLAN

This is a composite drainage plan for the Jefferson Ridge Development. The green area represents a watershed that is equal to the pre-construction flow for the site. The area in blue represents the watershed for new construction that will be directed to the detention basin.

As you can see, the pre-construction watershed flows through the site while the new construction watershed is diverted to the regional detention basin. No runoff from new construction will be permitted to outlet directly into the pre-construction watershed. (Notice the pipe stubbed to the property owned by Baptist.) The regional detention basin has already been constructed and is designed for a fully developed watershed.

LEGEND

Pre-Construction Watershed


New Construction Watershed


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APPENDIX 4

LANDSCAPE PLAN

This is a conceptual landscape plan based on the latest concept plan for Jefferson Ridge. This plan is meant simply as an example to show how site landscaping may look. Ultimately the layout of the development will be determined by market demand and landscaping will be required in accordance with the Landscape Guidelines in this booklet.

LEGEND

- Shade Tree 
- Evergreen Tree 
- Flowering Tree 



APPENDIX 5

ZONING ORDINANCE CHAPTER 9.6 - COMMERCIAL CORRIDOR OVERLAY

h. Facades greater than one-hundred (100) feet in length: In order to add architectural interest and variety and avoid the effect of a single, long or massive wall with no relation to human size, the following additional standards apply for facades greater than one-hundred (100) feet in length. A standardized prototype design must be modified if necessary to meet the provisions of this Article.

1. No wall that faces a street or connecting walkway may have a blank, uninterrupted length exceeding one-hundred (100) feet without including at least two (2) of the following design elements:
 - change in plane (recess or projection),
 - change in texture or masonry pattern,
 - windows, or
 - an equivalent element that subdivides the wall into human scale proportions.
2. Any change in wall plane such as projections or recesses must have a depth of at least three (3) percent of the length of the facade.
3. Building facades must include a repeating pattern that includes color change and texture change. At least one (1) element (texture or color change) must repeat horizontally. Both elements must repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
4. Overhanging eaves must extend no less than three (3) feet past the supporting walls must be provided.

i. Facades less than one-hundred (100) feet in length: In order to add architectural interest and variety and avoid the effect of a single, long or massive wall with no relation to human size, the following additional standards apply for facades less than one-hundred (100) feet in length. A standardized prototype design must be modified if necessary to meet the provisions of this Article.

1. No wall that faces a street or connecting walkway shall have a blank, uninterrupted length exceeding thirty (30) feet without including at least two (2) of the following: change in plane (recess or projection), change in texture or masonry pattern, windows, treillage with

vines, or an equivalent element that subdivides the wall into human scale proportions.

2. Any change in wall plane such as projections or recesses shall have a depth of at least three (3) percent of the length of the facade.

j. Facades Generally: The building facade facing any adjacent street must have a finished facade. No loading docks or trash collection bins may be placed on or along the facades that face any adjacent street.

k. Entrances: Each establishment on a site shall have clearly defined, highly visible customer entrances featuring at least two (2) of the following:

- canopies or porticos,
- recesses/projections,
- arcades,
- peaked roof forms,
- arches,
- display windows, or
- architectural details such as tile work and moldings which are integrated into the building structure and design.



CITY OF
JEFFERSONVILLE

PLANNED
DEVELOPMENT

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KADEN COMPANIES

SABAK, WILSON & LINGO, Inc.
Engineers, Landscape Architects & Planners

